

1 STATE OF GEORGIA

2 CITY OF COLLEGE PARK

3 **ORDINANCE NO. 2015-12**

4 AN ORDINANCE TO AMEND THE ZONING CODE OF THE CITY OF
5 COLLEGE PARK, GEORGIA; TO CODIFY, BY REFERENCE, THE
6 COLLEGE PARK DOWNTOWN DESIGN STANDARDS; TO PROVIDE FOR
7 SEVERABILITY; TO REPEAL CONFLICTING ORDINANCES; TO
8 PROVIDE AN EFFECTIVE DATE; AND FOR OTHER PURPOSES.
9

10 **WHEREAS**, the duly elected governing authority of the City of College Park, Georgia
11 (the “City”) is the Mayor and Council thereof;

12 **WHEREAS**, in 2010, the Atlanta Regional Commission Staff worked with City Staff
13 and the College Park Design Guidelines Committee to develop as set of guidelines, the
14 Downtown Development Standards, to serve as standards for new development and
15 redevelopment in the downtown area. The standards are meant to provide a uniform landscape
16 and urban design theme. They are also an extension of the goals identified in the current
17 Comprehensive Plan and the City’s Livable Centers Initiative (LCI); and

18 **WHEREAS**, the City approved such Downtown Development Standards on June 20,
19 2011; and

20 **WHEREAS**, the City reviewed and reapproved the Downtown Development Standards
21 on July 20, 2015; and

22 **WHEREAS**, the City has determined that as a result of the approval of the Downtown
23 Development Standards and to serve the needs of the community certain amendments are needed
24 to the City’s Code of Ordinances; and

25 **WHEREAS**, the Mayor and Council determine that the health, safety, and welfare of the
26 citizens of the City will be positively impacted by the adoption of this Ordinance.

27 BE IT AND IT IS HEREBY ORDAINED BY THE MAYOR AND COUNCIL OF THE
28 CITY OF COLLEGE PARK, GEORGIA, and by the authority thereof:

29 **Section 1.** That the City Code, Appendix A, Zoning, Article XIV-G, Downtown
30 Business District, Section 7, Design Standards, is hereby amended by striking through the
31 existing text and inserting new text as follows:

32 “Sec. 7. – Design Standards.
33 The design standards of the DB District are governed by the Downtown Design
34 Standards. The Downtown Design Standards, as approved by the City on July 20, 2015 and
35 from time to time amended by the City, are hereby adopted by reference as though they were
36 copied herein fully. Copies of the Downtown Design Standards shall be maintained on file in the
37 Office of the City Clerk, the Building and Inspections Office, and the Planning and Zoning
38 Department and is available for inspection during normal business hours.”

39 **Section 2.** That the City Code, Appendix A, Zoning, Article XIV-G, Downtown
40 Business District, Section 10, Area Regulations, is hereby amended by striking through the
41 existing text and inserting new text as follows:

42 “Sec. 7. – Area Regulations.
43 The area regulations of the DB District are governed by the Downtown Design Standards.
44 The Downtown Design Standards, as approved by the City on July 20, 2015 and from time to
45 time amended by the City, are hereby adopted by reference as though they were copied herein
46 fully. Copies of the Downtown Design Standards shall be maintained on file in the Office of the
47 City Clerk, the Building and Inspections Office, and the Planning and Zoning Department and is
48 available for inspection during normal business hours.”

49 **Section 3.** That the City Code, Appendix A, Zoning, Article XIV-I, Virginia
50 Avenue Neighborhood Commercial District, Section 9, Architectural design guidelines, is
51 hereby amended by striking through the existing text and inserting new text as follows:
52 “Sec. 9. – Architectural design guidelines.
53 The architectural design standards of the VNC District are governed by the Downtown
54 Design Standards. The Downtown Design Standards, as approved by the City on July 20, 2015
55 and from time to time amended by the City, are hereby adopted by reference as though they were
56 copied herein fully. Copies of the Downtown Design Standards shall be maintained on file in the
57 Office of the City Clerk, the Building and Inspections Office, and the Planning and Zoning
58 Department and is available for inspection during normal business hours.”

59 **Section 4.** That the City Code, Appendix A, Zoning, Article XIV-I, Virginia
60 Avenue Neighborhood Commercial District, Section 10, Building appearance, is hereby
61 amended by striking through the existing text and inserting new text as follows:

62 “Sec. 10. – Building appearance.
63 The appearance of buildings within the VNC District is governed by the Downtown
64 Design Standards. The Downtown Design Standards, as approved by the City on July 20, 2015
65 and from time to time amended by the City, are hereby adopted by reference as though they were
66 copied herein fully. Copies of the Downtown Design Standards shall be maintained on file in the
67 Office of the City Clerk, the Building and Inspections Office, and the Planning and Zoning
68 Department and is available for inspection during normal business hours.”

69 **Section 5.** That the City Code, Appendix A, Zoning, Article XIV-I, Virginia
70 Avenue Neighborhood Commercial District, Section 11, Building massing, is hereby
71 amended by striking through the existing text and inserting new text as follows:

72 “Sec. 11. – Building massing.

73 The massing of buildings within the VNC District is governed by the Downtown Design
74 Standards. The Downtown Design Standards, as approved by the City on July 20, 2015 and
75 from time to time amended by the City, are hereby adopted by reference as though they were
76 copied herein fully. Copies of the Downtown Design Standards shall be maintained on file in the
77 Office of the City Clerk, the Building and Inspections Office, and the Planning and Zoning
78 Department and is available for inspection during normal business hours.”

79 **Section 6. That the City Code, Appendix A, Zoning, Article XIV-I, Virginia**
80 **Avenue Neighborhood Commercial District, Section 12, Building exterior, is hereby**
81 **amended by striking through the existing text and inserting new text as follows:**

82 “Sec. 12. – Building exterior.

83 The exterior of buildings within the VNC District is governed by the Downtown Design
84 Standards. The Downtown Design Standards, as approved by the City on July 20, 2015 and
85 from time to time amended by the City, are hereby adopted by reference as though they were
86 copied herein fully. Copies of the Downtown Design Standards shall be maintained on file in the
87 Office of the City Clerk, the Building and Inspections Office, and the Planning and Zoning
88 Department and is available for inspection during normal business hours.”

89 **Section 7. That the City Code, Appendix A, Zoning, Article XIV-I, Virginia**
90 **Avenue Neighborhood Commercial District, Section 13, Design style, is hereby amended by**
91 **striking through the existing text and inserting new text as follows:**

92 “Sec. 13. – Design style.

93 The design style of buildings within the VNC District is governed by the Downtown
94 Design Standards. The Downtown Design Standards, as approved by the City on July 20, 2015
95 and from time to time amended by the City, are hereby adopted by reference as though they were
96 copied herein fully. Copies of the Downtown Design Standards shall be maintained on file in the
97 Office of the City Clerk, the Building and Inspections Office, and the Planning and Zoning
98 Department and is available for inspection during normal business hours.”

99 **Section 8.** That the City Code, Appendix A, Zoning, Article XIV-I, Virginia
100 Avenue Neighborhood Commercial District, Section 14, Mechanical systems and
101 equipment, is hereby amended by striking through the existing text and inserting new text
102 as follows:

103 “Sec. 14. – Mechanical systems and equipment.

104 Outdoor placement of mechanical systems and equipment within the VNC District is
105 governed by the Downtown Design Standards. The Downtown Design Standards, as approved
106 by the City on July 20, 2015 and from time to time amended by the City, are hereby adopted by
107 reference as though they were copied herein fully. Copies of the Downtown Design Standards
108 shall be maintained on file in the Office of the City Clerk, the Building and Inspections Office,
109 and the Planning and Zoning Department and is available for inspection during normal business
110 hours.”

111 **Section 9.** That the City Code, Appendix A, Zoning, Article XIV-I, Virginia
112 Avenue Neighborhood Commercial District, Section 15, Building siting and access, is
113 hereby amended by striking through the existing text and inserting new text as follows:

114 “Sec. 15. – Building siting and access.

115 The siting and access of buildings within the VNC District is governed by the Downtown
116 Design Standards. The Downtown Design Standards, as approved by the City on July 20, 2015
117 and from time to time amended by the City, are hereby adopted by reference as though they were
118 copied herein fully. Copies of the Downtown Design Standards shall be maintained on file in the
119 Office of the City Clerk, the Building and Inspections Office, and the Planning and Zoning
120 Department and is available for inspection during normal business hours.”

121 **Section 10.** That the City Code, Appendix A, Zoning, Article XIV-I, Virginia
122 Avenue Neighborhood Commercial District, Section 17, Site development standards, is
123 hereby amended by striking through the existing text and inserting new text as follows:

124 “Sec. 17. – Site development standards.

125 The site development standards of buildings within the VNC District are governed by the
126 Downtown Design Standards. The Downtown Design Standards, as approved by the City on
127 July 20, 2015 and from time to time amended by the City, are hereby adopted by reference as
128 though they were copied herein fully. Copies of the Downtown Design Standards shall be
129 maintained on file in the Office of the City Clerk, the Building and Inspections Office, and the
130 Planning and Zoning Department and is available for inspection during normal business hours.”

131 **Section 11.** That the City Code, Appendix A, Zoning, Article XIV-I, Virginia
132 Avenue Neighborhood Commercial District, Section 18, Dimensional requirements, is
133 hereby amended by striking through the existing text and inserting new text as follows:

134 “Sec. 18. – Dimensional requirements.

135 The dimensional requirements of buildings within the VNC District are governed by the
136 Downtown Design Standards. The Downtown Design Standards, as approved by the City on

137 July 20, 2015 and from time to time amended by the City, are hereby adopted by reference as
138 though they were copied herein fully. Copies of the Downtown Design Standards shall be
139 maintained on file in the Office of the City Clerk, the Building and Inspections Office, and the
140 Planning and Zoning Department and is available for inspection during normal business hours.”

141 **Section 12.** That the City Code, Appendix A, Zoning, Article XIV-I, Virginia
142 Avenue Neighborhood Commercial District, Section 19, Screening, is hereby amended by
143 striking through the existing text and inserting new text as follows:

144 “Sec. 19. – Screening.

145 The screening requirements of buildings within the VNC District are governed by the
146 Downtown Design Standards. The Downtown Design Standards, as approved by the City on
147 July 20, 2015 and from time to time amended by the City, are hereby adopted by reference as
148 though they were copied herein fully. Copies of the Downtown Design Standards shall be
149 maintained on file in the Office of the City Clerk, the Building and Inspections Office, and the
150 Planning and Zoning Department and is available for inspection during normal business hours.”

151 **Section 13.** That the City Code, Appendix A, Zoning, Article XIV-I, Virginia
152 Avenue Neighborhood Commercial District, Section 21, Utilities, is hereby amended by
153 striking through the existing text and inserting new text as follows:

154 “Sec. 21. – Utilities.

155 (a) All electrical, cable, telephone and other such services shall be installed underground.

156 (b) Notwithstanding subsection (a) above, the placement and appearance of structures
157 providing utilities to buildings within the VNC District are governed by the Downtown

158 Design Standards. The Downtown Design Standards, as approved by the City on July 20,

159 2015 and from time to time amended by the City, are hereby adopted by reference as

160 though they were copied herein fully. Copies of the Downtown Design Standards shall
161 be maintained on file in the Office of the City Clerk, the Building and Inspections Office,
162 and the Planning and Zoning Department and is available for inspection during normal
163 business hours.”

164 **Section 14. That the City Code, Appendix A, Zoning, Article XIV-I, Virginia**
165 **Avenue Neighborhood Commercial District, Section 22, Site lighting, is hereby amended by**
166 **striking through the existing text and inserting new text as follows:**

167 “Sec. 22. – Site lighting.

168 The site lighting requirements of buildings within the VNC District are governed by the
169 Downtown Design Standards. The Downtown Design Standards, as approved by the City on
170 July 20, 2015 and from time to time amended by the City, are hereby adopted by reference as
171 though they were copied herein fully. Copies of the Downtown Design Standards shall be
172 maintained on file in the Office of the City Clerk, the Building and Inspections Office, and the
173 Planning and Zoning Department and is available for inspection during normal business hours.”

174 **Section 15. That the City Code, Appendix A, Zoning, Article XIV-I, Virginia**
175 **Avenue Neighborhood Commercial District, Section 23, Signs, is hereby amended by**
176 **striking through the existing text and inserting new text as follows:**

177 “Sec. 23. – Signs.

178 Signs within the VNC District are governed by the Downtown Design Standards. The
179 Downtown Design Standards, as approved by the City on July 20, 2015 and from time to time
180 amended by the City, are hereby adopted by reference as though they were copied herein fully.

181 Copies of the Downtown Design Standards shall be maintained on file in the Office of the City

182 Clerk, the Building and Inspections Office, and the Planning and Zoning Department and is
183 available for inspection during normal business hours.”

184 **Section 16.** That the City Code, Appendix A, Zoning, Article XIV-I, Virginia
185 Avenue Neighborhood Commercial District, Section 24, Pedestrian networks, is hereby
186 amended by striking through the existing text and inserting new text as follows:

187 “Sec. 24. – Pedestrian networks.

188 (a) Notwithstanding subsections (b) and (c) below, the general requirements of pedestrian
189 networks within the VNC District, including but not limited to space, comprehensiveness,
190 buffers, lighting and perviousness are governed by the Downtown Design Standards. The
191 Downtown Design Standards, as approved by the City on July 20, 2015 and from time to
192 time amended by the City, are hereby adopted by reference as though they were copied
193 herein fully. Copies of the Downtown Design Standards shall be maintained on file in
194 the Office of the City Clerk, the Building and Inspections Office, and the Planning and
195 Zoning Department and is available for inspection during normal business hours.

196 (b) Traffic calming. Motorists will be encouraged to travel through the VNC District at
197 moderate speed through reduces speed limits and to negotiate intersections more
198 carefully by the use of traffic calming devices such as flanking curb trees and shrubbery.
199 (c) Parking. Curbside parking shall be permitted that is designed to create traffic buffers
200 enhancing the safety of pedestrians along the streets intersecting Virginia Avenue.”

201 **Section 17.** A copy of the Downtown Design Standards, as approved by the City on July
202 20, 2015, is attached to and incorporated within this Ordinance as Exhibit A. Additional copies
203 of the Downtown Design Standards shall be maintained on file in the Office of the City Clerk,

204 the Building and Inspections Office, and the Planning and Zoning Department and is available
205 for inspection during normal business hours.

206 **Section 18.**

207 (a) It is hereby declared to be the intention of the Mayor and Council that all sections,
208 paragraphs, sentences, clauses and phrases of this Ordinance are or were, upon their
209 enactment, believed by the Mayor and Council to be fully valid, enforceable and
210 constitutional.

211 (b) It is hereby declared to be the intention of the Mayor and Council that, to the greatest
212 extent allowed by law, each and every section, paragraph, sentence, clause or phrase of
213 this Ordinance is severable from every other section, paragraph, sentence, clause or
214 phrase of this Ordinance. It is hereby further declared to be the intention of the Mayor
215 and Council that, to the greatest extent allowed by law, no section, paragraph, sentence,
216 clause or phrase of this Ordinance is mutually dependent upon any other section,
217 paragraph, sentence, clause or phrase of this Ordinance.

218 (c) In the event that any phrase, clause, sentence, paragraph or section of this Ordinance
219 shall, for any reason whatsoever, be declared invalid, unconstitutional or otherwise
220 unenforceable by the valid judgment or decree of any court of competent jurisdiction, it is
221 the express intent of the Mayor and Council that such invalidity, unconstitutionality or
222 unenforceability shall, to the greatest extent allowed by law, not render invalid,
223 unconstitutional or otherwise unenforceable any of the remaining phrases, clauses,
224 sentences, paragraphs or sections of the Ordinance and that, to the greatest extent allowed

225 by law, all remaining phrases, clauses, sentences, paragraphs and sections of the
226 Ordinance shall remain valid, constitutional, enforceable, and of full force and effect.

227 **Section 19.** All ordinances and parts of ordinances in conflict herewith are hereby
228 expressly repealed.

229 **Section 20.** Penalties in effect for violations of the Zoning Ordinance of the City of
230 College Park at the time of the effective date of this Ordinance shall be and are hereby made
231 applicable to this Ordinance and shall remain in full force and effect.

232 **Section 21.** The effective date of this Ordinance shall be the date of adoption unless
233 otherwise specified herein.

234 **ORDAINED** this 20th day of July, 2015.

235 **CITY OF COLLEGE PARK, GEORGIA**

236



JACK P. LONGINO, Mayor

237

238

239 **ATTEST:**

240



MELISSA BROOKS, City Clerk

241

242

243 **APPROVED AS TO FORM:**

244

245

246



City Attorney



City of College Park Downtown Design Standards

*Prepared by
Atlanta Regional Commission Staff
January 2011*



Atlanta Regional Commission

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PURPOSE AND INTENT

The following design standards apply to all new development and redevelopment within Downtown College Park. These development standards provide for a uniform landscape and urban design theme throughout the district's boundaries through:

- The identification and consistent use of design elements which contribute to quality and good design in site planning, architecture, landscaping, and signage
- The creation of a consistent, cohesive character within the area, including historic and non-historic structures
- The creation of a pedestrian friendly walkable environment
- The creation of a 'sense of place' in College Park that retains the charm of the historic downtown character

The specific design policies contained herein are an extension of the goals identified in the Comprehensive Plan for the City of College Park and the College Park Activity Center Livable Centers Initiative.

High quality design solutions deviating from strict interpretation of the standards noted herein may be considered and approved by the City only when the resulting design is one which is determined to be desirable by the City. The Planning Commission and Planning Director hold authority to review and grant variances to new projects.

These design guidelines apply to the following:

- All new construction within the Downtown College Park area
- Remodeling or renovation of existing structures within the Downtown College Park area, including building additions.

These standards are intended to serve as approaches to design within Downtown College Park. A map showing the parcels to which this set of standards applies can be found on page six of this document.

These guidelines seek to guide project developers through photographic examples, which have been notated by checks representing acceptable and unacceptable practices.

I. SITE DESIGN ELEMENTS



On-street parking shall be utilized wherever possible.

1.0 Parking

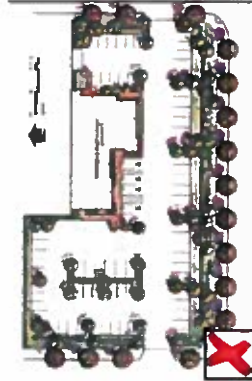
1.1 Overview

The accommodation of adequate parking facilities is an important consideration for all new and existing businesses located in the City of College Park. In addition to lot capacity requirements, an emphasis on organization, management, and design of parking areas are also an important method in providing a safe, convenient and aesthetically pleasing pedestrian environment.

The following parking lot design standards are intended to coordinate with the specific parking requirements set forth in Section 8, Article XIV-G Downtown Business District, of the Code of Ordinances.

1.2 Parking Standards

- i. On-street parking shall be utilized wherever possible.
- ii. Insofar as possible, parking lots shall be located to the rear or side of buildings. Preferably, parking should be located on the interior of parcels in a courtyard configuration, bounded by structures, landscaping or a combination of both.
- iii. Shared parking as well as consolidated driveways and curb cuts are strongly encouraged as a method of preserving continuity of street edges.
- iv. Parking lots shall be directly connected to a sidewalk leading to the main entrances of all buildings on site.
- v. Off-street parking should not be located on corner lots because it diminishes the visual continuity of downtown storefronts. Corner lots are best used for buildings.
- vi. Parking shall not be placed between the front of the building and the street.



Parking shall be located behind the building.

1.3 Materials



Porous pavers should be utilized in parking areas to help reduce storm water run-off.

Such parking shall be provided in a parking garage or properly graded surface parking facility with the parking spaces comprised of asphalt, concrete, porous pavements or other material approved by the Design Review Board (DRB). Parking areas shall ensure smooth and even pathways to prevent falls and eliminate barriers for walking or wheelchair access.



Off-street parking areas shall provide landscaped islands and landscape strips.



- vi. Shade trees shall be planted at a minimum of three (3) feet from any curb, so as to prevent injury to trees by vehicle bumpers. The remaining area of the landscaping strip shall be sodded or planted with groundcover species.
- vii. The planting area for a tree shall consist of permeable and well-drained soils with suitable ground cover.
- viii. Dead trees and shrubs shall be replaced by the property owner within one (1) month, with three (3) months of waiting time allowed for avoiding planting in peak heat of summer.
- ix. Landscape strips at the perimeter of off-street parking lots shall be a minimum width of six (6) feet and shall provide for safe and convenient crossings by vehicles and pedestrians.
- x. Pedestrian pathways in parking lots and pedestrian ways that cross vehicular aisles in parking lots shall be appropriately demarcated with paint or use of pavers.
- xi. Parking space dimensions shall be in accordance with the standards set forth in the Code of Ordinances.

1.52 On-street Parking Areas



On-street parking shall use landscaped bulb-outs to protect pedestrians and enhance the aesthetics of downtown.

- i. Landscaped bulb-outs and islands shall be built in conjunction with angled or parallel on-street parking so as to foster a more pedestrian-friendly environment in downtown commercial areas. Bulb-outs can improve the visibility between pedestrians and drivers, as well as provide a safe space for pedestrians.
- ii. Additionally, bulb-outs shall be used at mid-block crosswalks to facilitate pedestrian movement to parking facilities or businesses. These bulb-outs shall take on a similar design to those used at intersections.
- iii. Landscape islands, which provide a place of refuge for pedestrians as they cross intersections, shall be used where appropriate.

1.6 Loading Areas

It is important to minimize visibility of loading areas from the public right of way as much as possible. Furthermore, businesses that require service bays shall implement a lot design that reduces unsightly working facilities.



the proposed development.

- ii. The enclosure shall have a minimum height of eight (8) feet, or two (2) feet taller than the highest point of the waste/grease container, compactor or dumpster, whichever is greater.
- iii. Gates shall allow access to refuse containers while denying open views of the contents within.
- iv. The use of chain link fencing is not acceptable as concealment of mechanical units or waste/grease containers.
- v. No dumpster or refuse container shall be located within fifty (50) feet of a single family residentially zoned property.
- vi. The sharing of waste facilities between lessees of commercial developments is strongly encouraged.
- vii. All refuse materials shall be contained within the refuse area.



Refuse containers not properly screened from the public right-of-way is prohibited.

2.4 Garbage Containers

- i. Garbage cans shall be neatly contained in sheds or in separate screened enclosures.
- ii. Garbage storage shall be shielded from public view and shall be within the building property line.
- iii. Trash shall be placed at the street edge but shall not be placed in the street so as to obstruct the sidewalk or any area of public vehicular or pedestrian travel.



Garbage containers shall be contained in sheds or separate screened enclosures.

3.0 Building Façade

- i. All front façades of the principal building shall face and be parallel to a public street.
 - a. Primary pedestrian entrances shall be oriented to the street and shall be clearly visible.
 - b. For buildings with commercial and retail uses, all customer entrances shall remain unlocked during business hours.
- ii. A variety of sizes is appropriate among primary façades in new developments.
 - a. Variations in facade treatment shall be continued through the structure, including its roof line and front and rear facades to reduce the perceived size of the building.
 - b. Minimize the monotonous appearance of a large building or single façade through the use of architectural elements within the façade which include masonry piers, stepping of the building height and width, different colors or textures, and the variation of windows and awnings.
 - c. Create positive open space in these variations such that they will enhance the streetscape.
 - d. Blank lengths of wall exceeding thirty (30) linear feet are prohibited on all building façades.
- iii. New buildings shall incorporate recessed entryways into the design of the building. This prevents impeding pedestrian traffic along the sidewalk while a door is opened to enter a commercial building.
 - a. The entryway shall be set back from the edge of the sidewalk four (4) to eight (8) feet and may make use of display cases and window panes to integrate this feature into the design of the building.
- iv. Buildings located on corner lots shall incorporate design features to provide architectural interest for side walls that are not considered part of the primary façade.
 - v. There shall be no exposed plain concrete block for visible portions of all façades.
 - a. Tilt up or precast concrete shall be textured with brick, aggregates, form liners, or similar methods to give visual interest to larger expanses of wall.
 - b. Landscaping elements shall also be added to break up larger expanses of wall.
- vi. Where retail or service-oriented offices front on a public right of way, a minimum of seventy-five (75) percent of the affected building façade shall consist of transparent surfaces, such as windows or doorways, to promote visual interest.
- vii. Where general office uses front public rights of way, a minimum of fifty (50) percent of the affected building façade shall consist of transparent or translucent surfaces.



Variation in façade treatment can visually enhance large buildings and minimize a monotonous appearance.



Building frontages should maintain transparent surfaces and avoid blank walls, and incorporate recessed entryways.



Buildings on corner lots shall provide architectural interest on both primary and secondary façades and side walls.



- ii. The maximum front setback shall be twenty (20) feet. Buildings shall only be set back away from the public right of way to accommodate architectural details, outdoor dining, street furniture or other pedestrian amenities.
- iii. No side yard shall be required.
- iv. No rear yard shall be required unless a property abuts residentially zoned property, then a minimum rear yard of twenty-five (25) feet is required.



Buildings shall have minimal setbacks to engage the pedestrian and to help define the public realm.

6.0 Windows & Doors

The impact windows and doors have on the façade of a building is determined by the size, shape, pattern of openings, spacing, light divisions (number of panes) and placement. Consideration of these elements when altering or reconstructing windows or doors is crucial to retaining the structure's original architectural balance and integrity, as well as contributing to the overall aesthetics of Downtown College Park.

- i. Design shall influence the window and door styles selected for a project.
- ii. Windows and doors shall follow appropriate rhythm and scale for building massing and frontage, including a pedestrian friendly focus.
- iii. The arrangement, size and style of windows and doors shall be proportionate to surrounding structures.
- iv. Entrance doors for retail and commercial buildings shall be of glass or contain significant glass to allow visibility into businesses.
- v. Entries shall be recessed to allow the door to swing out without obstructing pedestrian flow.
- vi. Where appropriate, sliding/folding doors that allow the activity of the business to open adjacent to and onto the public sidewalk shall be installed.
- vii. Replacement windows:
 - a. Windows shall match the original materials or replicate the same appearance.
 - b. Windows shall require no major alterations of the openings.
 - c. Windows shall match the pane divisions of the original windows.
 - d. Care shall be taken to obtain windows that fit original casings.
- viii. Bay windows on the front of buildings shall not encroach on the public right of way.
- ix. Storm windows and doors shall have minimal impact on building façades. Owners shall consider proper weather-



Windows shall be scaled appropriately with the building façade and main doorways shall be recessed.



- structural bay, but need not be identical.
- b. Awning shape shall relate to the window or door opening. Barrel-shaped awnings shall be used to complement arched windows while square awnings shall be used on rectangular windows.
- c. Awnings over sidewalks shall overhang the sidewalk a maximum of five (5) feet and shall provide a minimum vertical clearance of eight (8) feet for pedestrians.



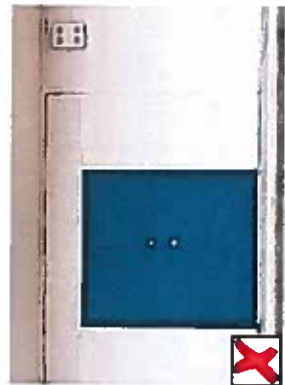
Rear entrances shall be designed to be welcoming in appearance.

8.0 Rear Entrances

Rear façades shall be designed as an integral part of the overall building with similar materials and detail treatments as the rest of the building. If parking is placed to the rear of a building, the building's rear façade shall be welcoming in appearance. Awnings, landscaping and small wall signs identifying businesses are encouraged. Furthermore, any rear entrance shall provide adequate lighting and be designed to maximize safety.



- i. If customers, visitors and/or tenants park to the rear of the building, a well-defined and lighted rear entrance is strongly encouraged.
- ii. If no rear building entrance is provided, a signed and lighted walkway to the front or side building entrance shall be provided and adhere to requirements for lighting as addressed in Article IV, section 2.0 -Lighting.
- iii. Signs shall be modestly scaled to fit the casual visual character of the alley or rear parking area and adhere to requirements for signage as addressed in article IV, section 1.0 -Signage.
- iv. Selective use of tree planting, potted plants and other landscaping shall be used to improve the aesthetics of a rear facade.
- v. The rear entry door design shall be compatible with the front door. Special security glass (i.e. wire imbedded) is allowed.



Landscaping shall be used to improve the aesthetics of a rear façade.

9.0 Franchise Architecture

Franchise development is a necessary and vital component to the growth of a community. It remains important to assure that the focus of such development reflects the character of the city, and not merely the tenant. The City of College Park prizes its downtown, and encourages reflecting its architecture within this district.

- i. Appropriate attributes:
 - a. To lend the appearance of multi-tenant occupancy, facades

III. LANDSCAPE & STREETSCAPE



1.0 Landscaping

1.1 Overview

Quality landscaping is an integral component of a community's character that contributes to a harmonious setting for streets, buildings and the pedestrian. Properly designed, installed and maintained landscaping can enhance the identity and value of Downtown College Park.



Landscaping should incorporate pedestrian scale features and should not obstruct pedestrian flow.

- i. Size and spacing of landscaping elements shall be consistent with pedestrian-scale development, relate to identifiable streetscapes, and ease the transition between all structures and the pedestrian.
- ii. The use of window boxes, planters, hanging flower baskets, vines and other seasonal landscaping is encouraged. Window boxes, hanging baskets and planters shall be used around entries, while vines should be used to cover blank walls or other surfaces. All hanging baskets shall provide at least eight (8) feet of vertical clearance for pedestrians. Landscaping shall be designed to coordinate with building height; designers shall use foresight to identify how plants will look at maturity. Tree selection shall echo building height.
- iv. Landscaping shall not only apply to the fronts of buildings, but to the sides and rear as well. Buildings with rear entries or rear parking shall strive to make the entrances as neat and well maintained as the front entrance.
- v. Landscape shading shall minimize large areas of un-shaded pavement. Pavement materials must be chosen for minimal reflected light and glare. The use of pervious materials is strongly encouraged to reduce surface water flows and non-point source water pollution. Sidewalks and pathways shall be designed with concrete and decorative pavers around the border.
- vi. Plant materials along streets and highways shall be selected and placed to avoid blocking sight lines at intersections and curb cuts. Plantings along utility rights of way shall not disrupt service or access to overhead or underground equipment and lines.
- vii. Plant materials, such as shrubs and vines, must not encroach on sidewalk space or infringe upon the minimum five (5) foot pedestrian clear zone.



The rear of buildings should be properly landscaped.



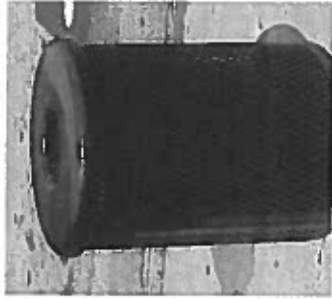
downtown area are encouraged to turn to these standards for guidance to provide a consistent look throughout the city.

2.2 Streetscape Elements

Sidewalk Bench

Description:

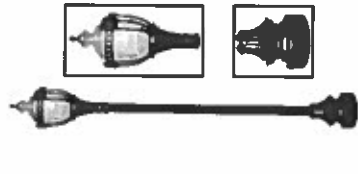
- Solid steel bar and wood construction.
- Six (6) foot length with two (2) inch steel legs and arm rests, with center arm rest.
- Color: Black.



Trash Receptacle

Description:

- Steel rib welded construction.
- Sizes available in twenty-four (24) or thirty-six (36) gallon capacities.
- Color: Black.



Pedestrian Scale Street Light

Description:

- Granville prismatic glass acorn luminaire
- North Yorkshire cast aluminum fluted pole.
- Cast iron base with steel shaft.

Bicycle Rack

Description:

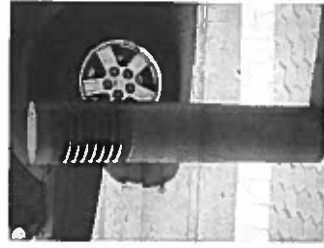
- Steel tubular and rib welded construction.
- Should enable the frame and one or both wheels to be secured.
- Color: Black.



Table

Description:

- Metal is recommended; plastic, vinyl or similar material is prohibited.
- Color: Black exterior or a stained wood finish.



Bollard

Description:

- Concrete or metal.
- Color: Black exterior.



light shall abide by the standards set forth in section 2.2, Streetscape Elements of this document.

Pedestrian street lights and street tress contained within the furniture and planting zone shall be placed on an alternating pattern so that a equal distance between them is maintained.

Benches and other resting areas shall be appropriately spaced to accommodate the needs of older users.

A minimum of five (5) feet of clear pedestrian access shall be maintained on all sidewalks.

Commercial area sidewalks shall be tapered into adjacent residential areas.

Including space for window shopping and outdoor cafes is encouraged.

Sidewalks are highly encouraged to incorporate the use of porous pavements or pavers that permit the infiltration of storm water wherever feasible.

ix.

x.

xi.

xii.

xiii.

xiv.



Street trees shall be placed in a planting, grating or treepod-biofilter area.

All sidewalks along state routes shall be designed in accordance with Georgia Department of Transportation specifications.

2.4 Street Trees

- i. Street trees shall be planted in conjunction with each new development project.
- ii. Trees shall be spaced a minimum of twenty-five (25) feet on center, depending on species, to provide a more-or-less continuous canopy along the sidewalk.
- iii. Required street trees shall be shade trees. However, other types may be used if approved by the Planning Director.
- iv. A minimum planting area or grating of at least three (3) by three (3) feet shall accompany all street trees.
- v. The use of Treepod Biofilters are encouraged as an effective means of removing ultra-fine and dissolved pollutants found in storm water runoff.
- vi. Tree maintenance, pruning and dead tree replacement schedule and responsibilities shall be designated in consultation with the City.



Outdoor dining shall front the public right-of-way.

- with all other modes of transportation.
- Provide safe, secure and convenient facilities for pedestrians into and within commercial development.
- Pedestrian crossings shall be adequately marked and signed according to the GDOT Pedestrian and Streetscape Guide.
- Relate sidewalk design to the function and the anticipated amount of pedestrian traffic.
- All ramps and curb cuts throughout the pedestrian system shall be constructed according to ADA guidelines.
- Provide continuous, clearly marked bicycle lanes in accordance with GDOT's Pedestrian and Streetscape Guide wherever possible, especially in congested areas.
- Design bikeways and multi-modal facilities to meet a wide range of user needs. Design bikeway and walkway capacity to accommodate the anticipated use.
- Provide adequate signage of bikeways and paths.
- Provide bicycle parking in commercial and recreational areas.
- Incorporate Federal Highway Administration (FHWA) design guidelines for older drivers and pedestrians.



- vii. Interior and exterior window signage, combined, for businesses shall only consume a maximum of twenty-five (25) percent of the window area.
- viii. Freestanding or monument signs shall be placed in logical locations near the project's entrance drive.
- ix. Vertical signs attached to the building shall only be displayed where the building supports a vertical location without interfering with building detailing or architectural design. Furthermore, such signage shall be attached below the second story window line and shall not exceed two (2) stories in height.
- x. Multiple tenant buildings shall have compatible and harmonious signage.



Vertical signs shall not exceed two (2) stories in height.

1.4 Sign Illumination

1.41 General Principles

- i. Signs are encouraged to be illuminated by an indirect source of light; this is usually the best arrangement because the sign will appear to be better integrated with the building's architecture. Light fixtures attached to the front of the structure cast light on the sign and the face of the structure as well.
- ii. Individually illuminated letters shall be backlit.
- iii. All illuminated signs shall be designed to provide a high quality appearance in both natural light during the day and in artificial light at night.

1.42 Internally Illuminated Signs

- i. Internally illuminated signs are signs in which illumination is provided by an artificial source of light contained within the sign itself and the light is transmitted through the sign panel, letters, or logo.
- ii. Internally illuminated signs shall be designed to minimize the amount of light that is transmitted through the sign panel. The display of white light should be limited to the sign copy. If lighting the sign copy only is not an option, the display of internal illumination through the background can be controlled by limiting its size to a small percentage of the sign area, changing the shape of the sign to reduce the lighted surface area, using a dark color, using an opaque screen, or a combination of these features.
- iii. Electrical transformer boxes and raceways are required to be



shall either be lit internally or by an indirect source of light.



Way-finding signs are encouraged and should be attached to an existing pole.

1.6 Prohibited Attributes for All Signs

- i. Paper and cloth signs are appropriate for interior temporary use only.
- ii. Location of directional signs shall not encroach on the public right-of-way.
- iii. Temporary window signage visible to sidewalk or street traffic shall be limited.



Sign poles shall be consolidated to reduce visual clutter.

1.7 City signage

- i. Sign poles within city limits shall be consolidated wherever possible to reduce visual clutter. For example, 'No Parking' signs shall be incorporated on pole-mounted street lights rather than on separate poles. Free-standing vehicular wayfinding signs will continue to be installed on the previously adopted standard poles.
- ii. Future pedestrian wayfinding signs shall either be added to the vehicular way-finding poles, or attached to street lights in an effort to reduce the total number of required poles.
- iii. Wherever separate sign poles are necessary, these sign poles (excluding those for vehicular way-finding signs) shall be of steel construction with a black, powder coat finish. Only galvanized (inside and out) schedule 40 steel posts (2.375" O.D.) shall be used, and such posts must include a galvanized flat cap (color to match) welded to the post's top surface.
- iv. All signage shall be in compliance with GDOT regulations and wooden sign posts are unacceptable in all public streetscape areas of Downtown College Park.

2.0 Lighting

2.1 Overview

Good outdoor lighting serves a number of uses by increasing safety and enhancing the city's nighttime character. However, improperly designed and/or installed lighting can create problems of excessive glare, light



3.0 Color

3.1 Overview

The overall exterior color scheme shall be selected to be harmonious with the neighborhood and blend with the natural surroundings of the site. Consideration shall be given to the compatibility of colors with those existing in the vicinity. The size of the structure and the amount of shading it will receive are also a factor in selection of colors.

3.2 Color Hue

Any accent colors shall be of analogous tints, shades or tones. Accent colors may only be approved for very limited use where appropriate to highlight a feature of the design or provide visual interest. The number of such colors shall be limited to no more than two (2) and must be compatible within the overall color scheme.

4.0 Public Art

4.1 Overview

Public art is a valuable design element found in many small towns and can include depictions of local scenery in the form of paintings, murals and mosaics. Artistic expressions on the sides of buildings and on façades can add value, but the designs shall be balanced and appropriate. No explicit commercial message is permitted in murals or other forms of public art. Other public art may consist of statues, pottery, planters and water features such as fountains. All public art on or adjacent to commercial buildings shall be approved by the Mayor and Council.



Acceptable examples of public art.

Landscape island (or parking island) - “Mini-medians” consisting of cutouts in the asphalt within the limits of the center lane of a roadway or in a parking lot. These cutouts will vary in size and can be at grade for water harvesting or raised with curbing.

Louwer - A framed opening, as in a wall, door or window, that is fitted with fitted or movable horizontal slats that permit air and light while shedding rain.

Mansard roof - A roof that is flat on top, sloping steeply down on all four sides, thus appearing to sheath the entire top story of a house or other building.

Massing - The overall bulk, size, physical volume, or magnitude of a structure or project.

Monument style sign - Permanent signs where the entire bottom of the sign is affixed to the ground, not to a building.

Overstory (canopy) tree - A mature tree expected to grow much higher than the roof of a one-story building.



Parapet - A portion of a vertical wall of a building that extends above the roofline.

Pervious paving - (see left) Pervious materials permit water to enter the ground by virtue of their porous nature or by large spaces in the material. Pervious concrete paving is included in this designation.

Projecting sign- A cantilevered sign which is structurally affixed to a building and oriented perpendicularly to the building façade.

Raceway - a type of conduit designed to provide a passageway for electrical wiring.

Sandwich board sign - A sign with two connected signboards (A-frame) that is usually placed along the sidewalk in front of a storefront.

Sash - A frame in which the panes of a window or door are set.

Shared parking - Parking spaces assigned to more than one use where persons utilizing the spaces are unlikely to need the spaces at the same time of day.

Shed awning - A flat awning projecting diagonally from the wall surface over a window or door opening; a traditional design.

Sidelight - A window (actually, usually a series of small fixed panes arranged vertically) found on either side of the main entry door of many Federal, Greek Revival and other late-18th- to mid-19th-century houses.

Transom window - A window above a window or door. Transoms can be either stationary or operating.

Tree Pod - A low impact design bio-retention system that removes ultra-fine and dissolved pollutants found in storm water runoff.

Tree well - A wall and root aeration system around tree and root zone when soil grade is raised.

Trellis - A structure used to support plants.



ARC

Community Choices